



Cleveland Board of Zoning Appeals

Monday April 17, 2023 at 9:30 AM

****PLEASE MUTE YOUR MICROPHONE****

Kelley Britt, Board Chair

Elizabeth Kukla, Secretary

Cleveland Board of Zoning Appeals

April 17, 2023

Preamble

IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF THE CITY'S OPEN MEETING LAW, AND SECTION 101.021 OF THE CODIFIED ORDINANCES OF CLEVELAND, OHIO, 1976, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

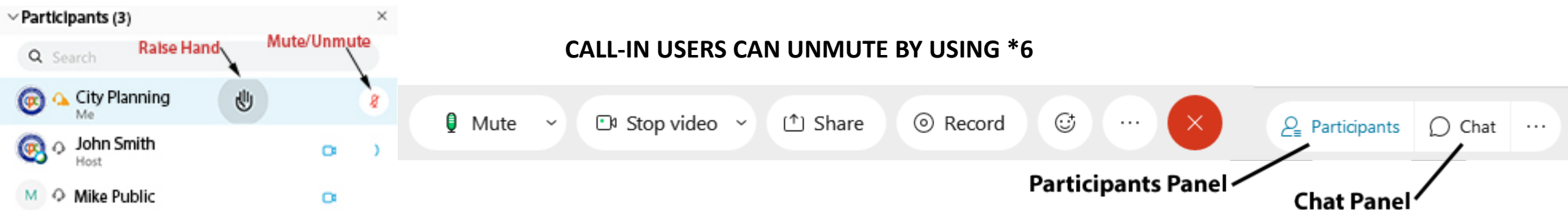
ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAVE THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK.

WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.

CALL-IN USERS CAN UNMUTE BY USING *6



The screenshot displays the Webex interface. On the left, the 'Participants (3)' panel is visible, listing 'City Planning Me', 'John Smith Host', and 'Mike Public'. Arrows point to the 'Raise Hand' icon (a hand) and the 'Mute/Unmute' icon (a microphone) for 'City Planning Me'. At the bottom, the toolbar contains buttons for 'Mute', 'Stop video', 'Share', 'Record', and a red 'X' button. To the right of these are the 'Participants' and 'Chat' buttons. Arrows point to the 'Participants' button (labeled 'Participants Panel') and the 'Chat' button (labeled 'Chat Panel').

Cleveland Board of Zoning Appeals

April 17, 2023

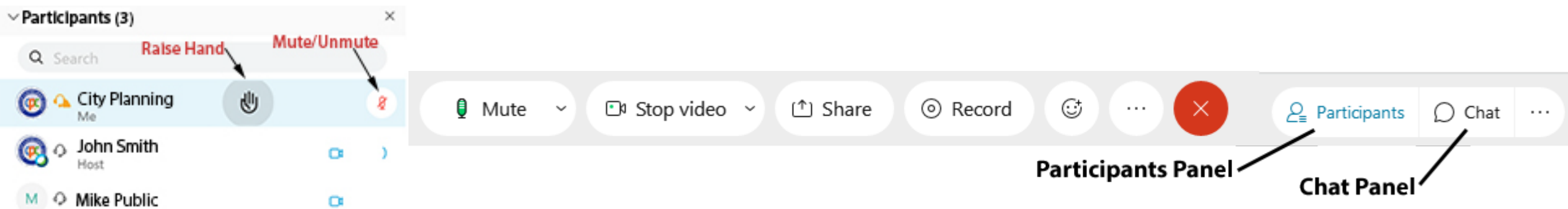
Preamble

ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.
THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE FOR PUBLIC VIEW.

WE HAVE PROVIDED A LINK TO THE MEETING FOR THOSE WHO WISH TO SPEAK ON A PARTICULAR CASE VIA OUR WEBSITE AND EMAIL.

ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER HAVE BEEN CONSIDERED.

WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN COMMENT ON A PARTICULAR MATTER.



Cleveland Board of Zoning Appeals

Call to Order & Roll Call



Cleveland Board of Zoning Appeals

Postponements/Withdrawals





NONE TODAY

Cleveland Board of Zoning Appeals

Public Hearing



Public Hearing



Calendar No. 23-053:

2169 E. 74 Street.

Ward 5

Ocean Property Management, proposes to establish use as a Banquet Hall on a parcel located in a C2 Local Retail District and a C1 Semi-Industry District. The owner appeals for relief from the strict application of the following sections of the Cleveland Codified Ordinances:

1. Section 343.01 which states Banquet Hall/ Entertainment is not permitted in Local Retail District; first permitted in General Retail District 343.11(b)(2)(L)
2. Section 352.08-10 which state that a 6 foot wide transition is required at the rear between parking and Multi-Family District.
3. Section 347.12(1) which states that Entertainment use shall be at least 500 feet from a Residential District and the property abuts Multi-Family Residential.
4. Section 347.12(2) which states that Entertainment use shall be at least 500' from another entertainment use.
5. Section 349.09(e) which states that 95 parking spaces are required and 54 parking space proposed.



Public Hearing

Calendar No. 23-053:

2169 E. 74 Street.

Ward 5



SWEARING IN ALL WHO ARE PRESENT FOR THIS CASE:

DO YOU SWEAR OR AFFIRM THAT THE TESTIMONY YOU ARE ABOUT TO GIVE
IS THE WHOLE TRUTH AND NOTHING BUT THE TRUTH?

Please Raise Your Hand.
Reply with I DO, YOUR NAME and YOUR ADDRESS.



HISTORY OF THE PROPERTY





LEGAL STANDARD

Madam Chair, Members of the Board, Appellant is requesting a use variance and area variances from the transition, minimum distance and parking requirements of the zoning code.

To obtain the use variance, Appellant must prove that denying the request:

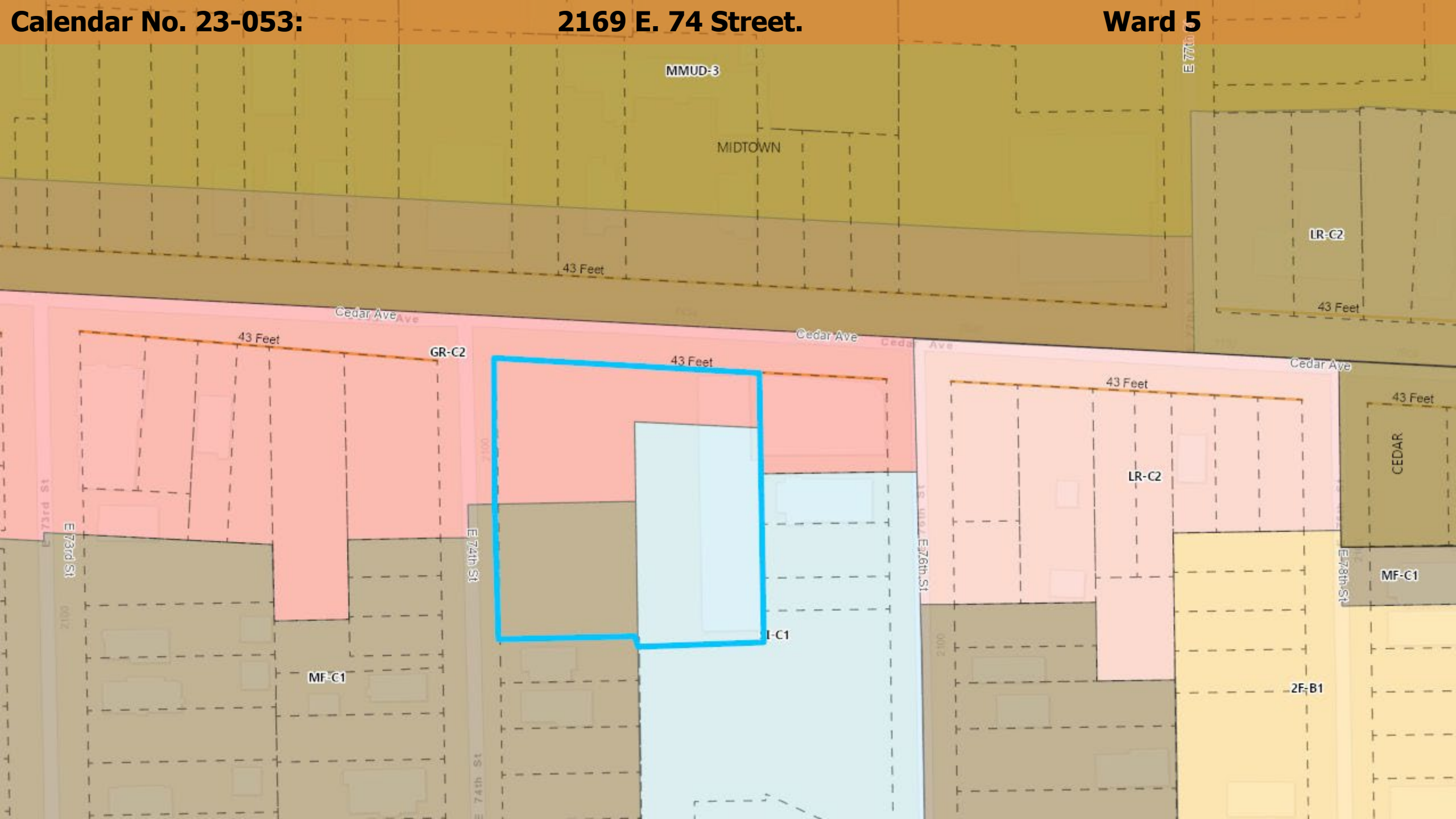
1. Will result in an **unnecessary hardship** particular to the property such that there will be no economically feasible use of the property without the variance;
2. Will deprive the Appellant of substantial property rights; and
3. That granting the variance will not be contrary to the purpose and intent of the zoning code.

To obtain the area variances, Appellant must prove that denying the request:

1. Will create a **practical difficulty** not generally shared by other land or buildings in the same district;
2. Will deprive the Appellant of substantial property rights; and
3. That granting the variances will not be contrary to the purpose and intent of the zoning code.









16 + 24 + 6
= 54

Cuyahoga County GIS Viewer

480
15
65 park space



Date Created: 3/13/2023

Legend

- Municipalities
- Right Of Way
- Platted Centerline
- Parcel

1: 826



138 0 69 138 Feet

Projection:
WGS_1984_Web_Mercator_Auxiliary_Sphere

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Cuyahoga County
Enterprise GIS
PUTTING CUYAHOGA COUNTY ON THE MAP

SUBJECT TO CERTAIN, NOTING AND SPECIFICATIONS AND TO OTHER DRAWINGS IN

RESEARCH TO COMBINE AND COMPARE WITH WORK ON CHANGING THE WEATHER, 9 AND EQUIPMENT FOR THE

3. CONCLUSION: THE DRUGS FOR AFFECTION TRAINING INITIATED BY GUY

BZA 23-53



1 CONCEPTUAL SITE PLAN
A2.0 SCALE: 1" = 20'-0"

E. 74 ST.

E. 76 ST.

CEDAR AV.

Key	Quantity	Botanical Name	Common Name	Size	Notes
PI(A)		Picea abies	Norway Spruce	8'	8/19
CH OP		Ceanothus p. 'Olio Pioneer'	Thornless Hawthorn	1 1/2'	8/18
HE HA		Hemerocallis 'Happy Returns'	Happy Returns Daylily	20"	8/19
NA KA		Narcissus 'King Alfred'	King Alfred Daffodil		8/18
TE LB		Pendula x 'Little Sunray'	Little Sunray Fastigiate Grass	6"	2/19
TA ME		Taxus x media	Denise Vine	24"	8/18
VI PT		Viburnum p. 'Shasta'	Shasta Viburnum	36"	8/18

PLANT LIST FOR THIS SHEET ONLY

GENERAL NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, AFFECTING CONTRACTOR'S STRUCTURES, INSTALLATIONS OR FABRICATIONS IN EXISTING CONSTRUCTION. DIMENSIONS SHALL BE VERIFIED BY EACH WORKER AND RECORDS AND ORDERS WHICH MAY OCCUR IN THE CONTRACT SHALL BE KEPT ON SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE WRITING AND WRITING INSTRUCTION SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION ACTIVITY.
2. CONTRACTOR TO FULFILL ALL NOTICES OF DEFICIENCY AND BE RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
3. CONTRACTOR TO CONTACT THE LOCAL UTILITY PROTECTION SERVICE AT 1-800-451-2794 PRIOR TO ANY CONSTRUCTION ACTIVITY.
4. CONTRACTOR TO FULFILL ALL UTILITY INFORMATION PRIOR TO ANY CONSTRUCTION ACTIVITY.
5. CONTRACTOR IS REQUIRED AND IN THEIR RESPONSIBILITY TO FILE FOR ANY CONSTRUCTION ACTIVITY AT THEIR SOLE EXPENSE WITH NO COSTS TO THE OWNER.
6. CONTRACTOR TO MAINTAIN POSITIVE ORANGE ARMY BANDS FROM STRUCTURES AND ALL PAVEMENT AND LANDSCAPE AREAS.
7. CONTRACTOR TO MAINTAIN POSITIVE ORANGE ARMY BANDS FROM EXISTING ROADS AND YARDS WHERE ACCESSIBLE ONLY. INFORMATION OBTAINED FROM THE UTILITY PROTECTION SERVICE SHALL BE USED BY THE CONTRACTOR TO VERIFY FOR ACCURACY, LOCATIONS, CONDITIONS, DEPTHS, AND ANY OTHER INFORMATION THAT MAY AFFECT THE CONTRACTOR, LANDSCAPER, OR SOIL DISTURBED DURING CONSTRUCTION.
8. STAKE FENCE LOCATIONS FOR OWNER APPROVED PRIOR TO ANY CONSTRUCTION ACTIVITY.

PLANT LEGEND



EXISTING LARGE DECIDUOUS TREE



NEW SILKY DOGWOOD SHRUB



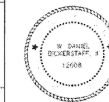
Project Team:

Architect



UBIQUITOUS DESIGN, LTD
ARCHITECTS

(344) LEE ROAD
DANIEL HENNETT, Genl. Secy
P.O. 210 210-4000 F 210 210-7071 WARC@TWCNEXTEL.COM



DOI: 10.1002/for

W. Ochs-Böcherhoff • Lizenz-Nr. 12676
Expiration Date: December 31, 2024

PLATFORM 13
Premier Event Space

INTERIOR ALTERATION

2169 EAST 74th STREET
CLEVELAND, OH 44103



UD. COPYRIGHT STATEMENT

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CONCEPTUAL
SITE PLAN

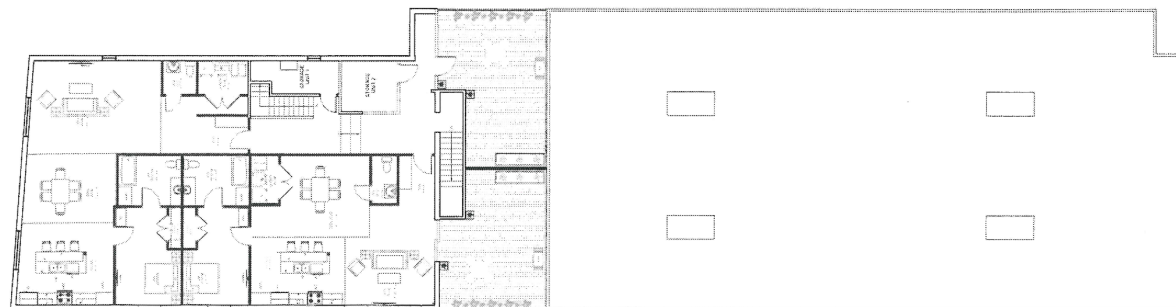
A1.0

NUMBER TO GENERAL NOTES AND SPECIFICATIONS AND TO OTHER DRAWINGS IN THIS SET OF PLANS FOR CROSSING BRIDGE AND SUPERSTRUCTURE OF BRIDGE

2. FROM TO CORRECTING THE CONSTRUCTIVE WORK, OR CARRYING OUT MAINTENANCE AND REPAIRS FOR THE PROJECT OR FOR EXISTING CONTRACTS ON A DEDICATED SITE, AND VERIFY DATA AND REPORTS OF THE QUALITY

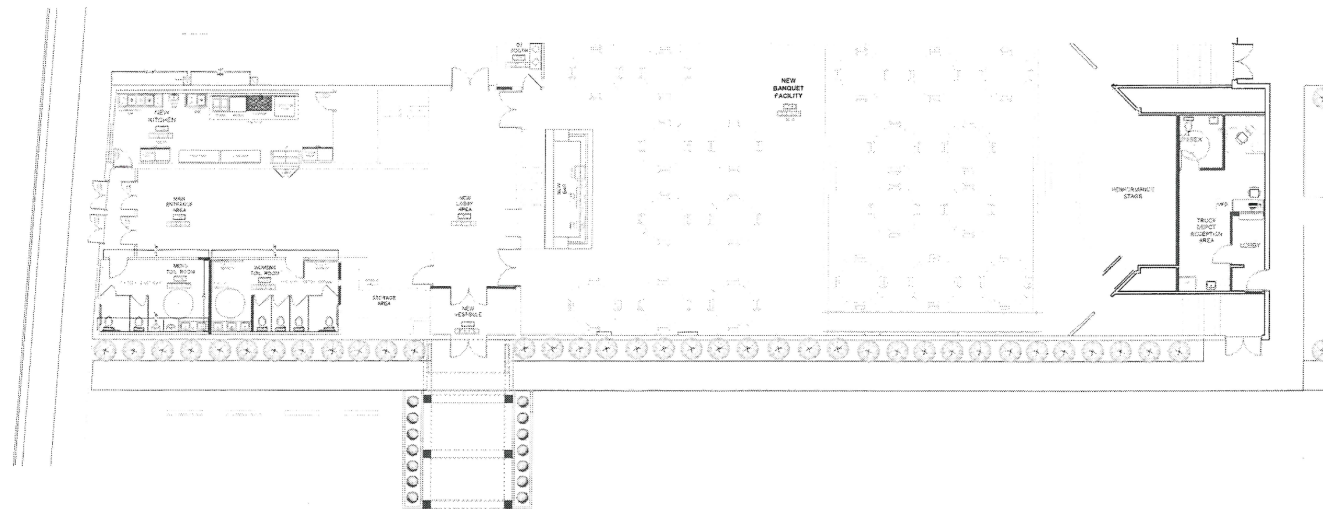
3. DO NOT USE THE GRASSHOPPER AFTER OTHER TRANSFERRED PRODUCTS

1 BUILDING SECOND FLOOR PLAN
A3.0 SCALE: 1/8" = 1'-0"



BUILDING FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



Project Team:

Architect



UBIQUITOUS DESIGN, LTD
ARCHITECTS

3445 LEE ROAD
CHICAGO, ILL. 60652



作者: gongwen@china.com

W Daniel Sikes et al. License: CC BY-NC-ND 4.0
 Expiration Date: December 31, 2021

FORM 1041-STATE	WEEK 4	OF 35 WEEKS
ISSUED	BY	DATE

PLATFORM 13
Premier Event Space

INTERIOR ALTERATION

2169 EAST 74th STREET
CLEVELAND, OH 44103



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1	2
3	4

BUILDING FIRST
FLOOR PLAN

02.18.2022 A2.0

NOTES:

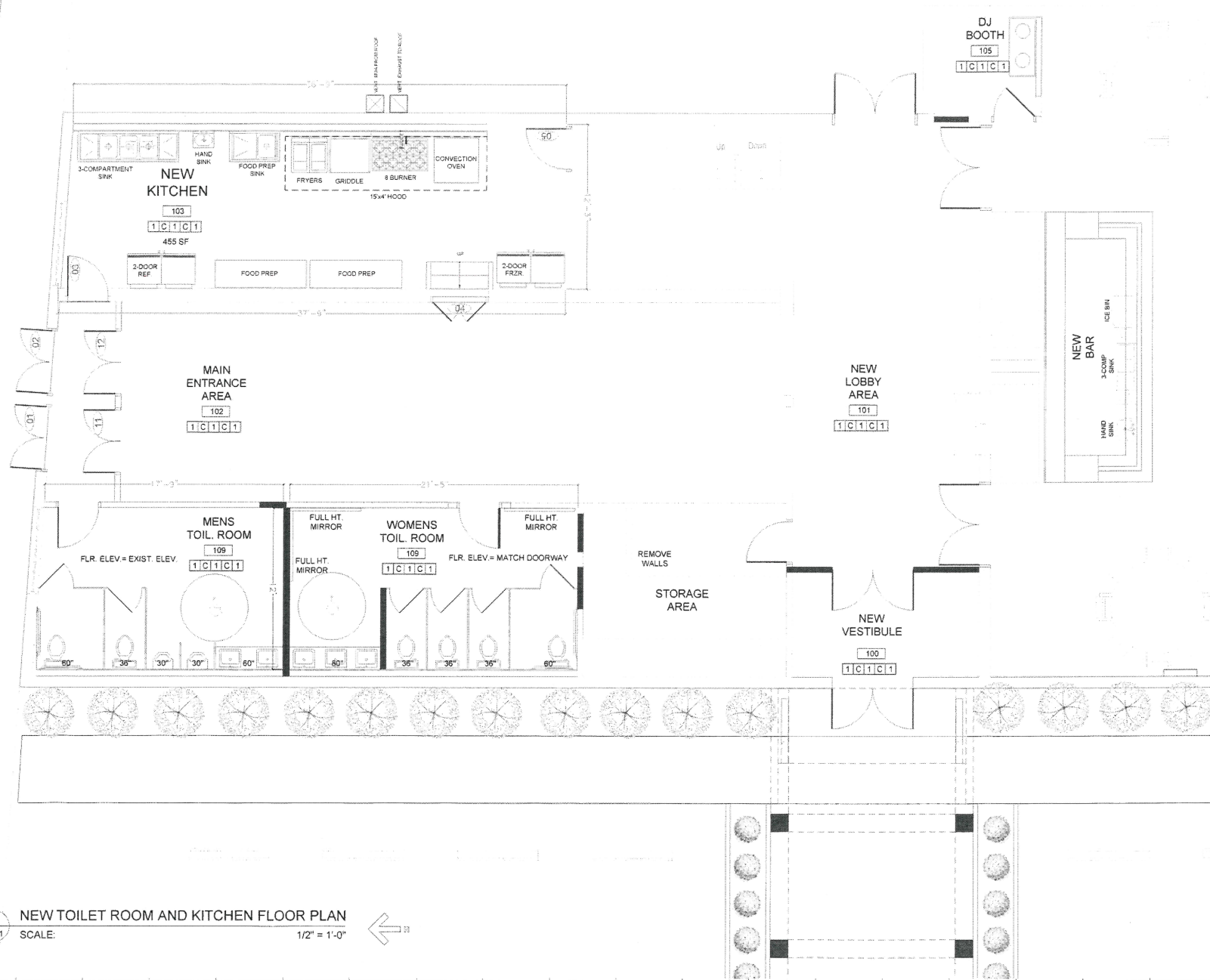
1. REFER TO EXISTING FLOOR PLAN AND SPECIFICATIONS AND TO OTHER DRAWINGS IN THIS SET FOR DETAILS OF CONSTRUCTION AND MATERIALS AND FINISHES.

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1
A2.1
NEW TOILET ROOM AND KITCHEN FLOOR PLAN
SCALE: 1/2" = 1'-0"



Project Team:

Architect:
UBIQUITOUS DESIGN, LTD.
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Professional Seal:
STATE OF OHIO
JAMES J. BROWN
ARCHITECT
12675
02/18/2022

Platform 13
Premier Event Space
INTERIOR ALTERATION
2169 EAST 74th STREET
CLEVELAND, OH 44103

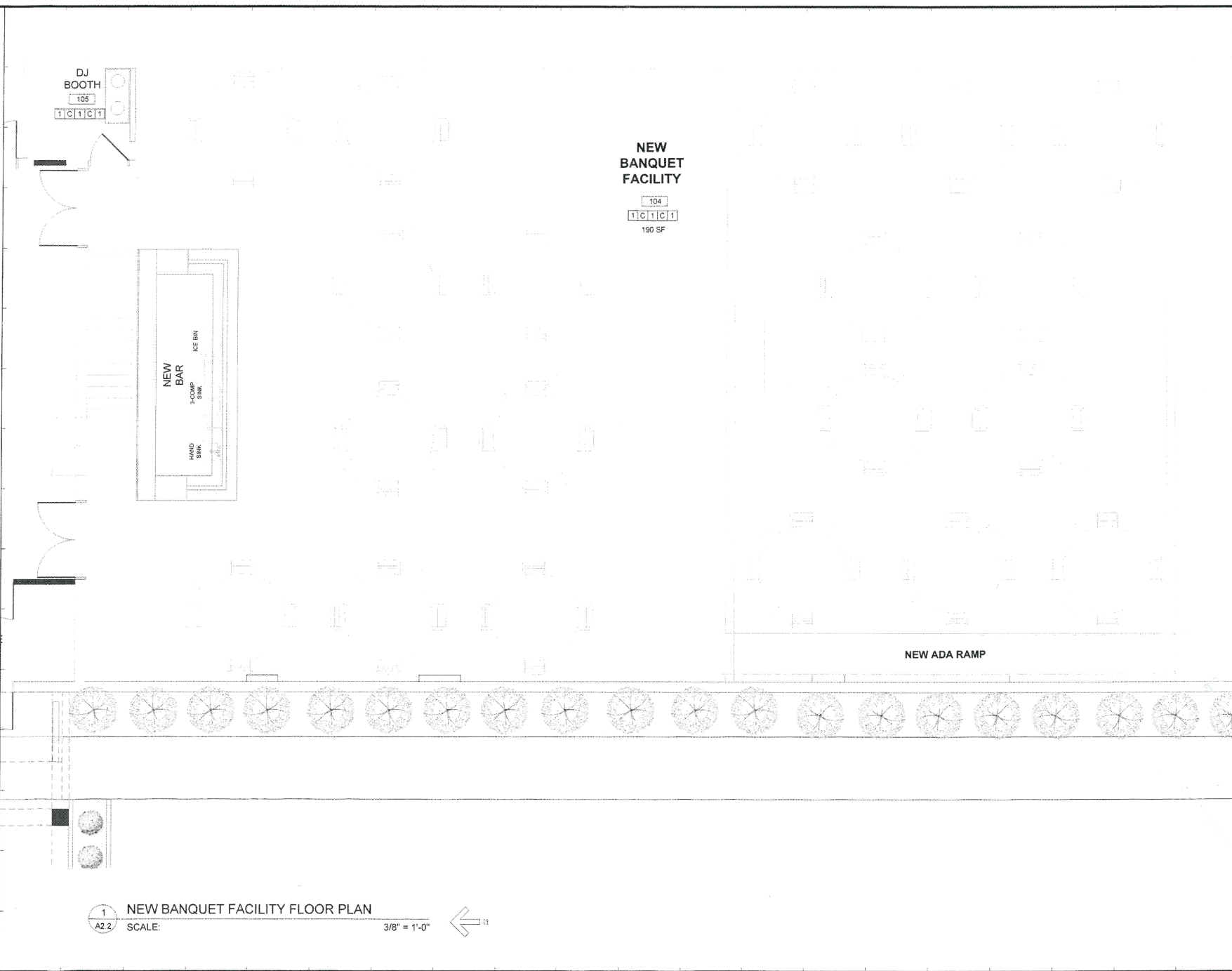
Platform 13
PREMIER EVENT SPACE

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FIRST FLOOR PLAN- North

A2.1
02/18/2022

NOTES: 1. REFER TO GENERAL NOTE AND UNIFORM CODES AND TO OTHER DRAWINGS IN THIS SET OF PLANS FOR NOTES TO PRELIMINARY AND SUPPLEMENTARY INFORMATION.
2. PRIOR TO COMMENCING ANY CONSTRUCTION WORK, OBTAINING NECESSARY PERMITS AND EQUIPMENT TESTS.
3. VERIFY THE DIMENSIONS OF THE EXISTING STRUCTURE AND EQUIPMENT TESTS.
4. VERIFY THE DIMENSIONS OF THE EXISTING STRUCTURE AND EQUIPMENT TESTS.



1 NEW BANQUET FACILITY FLOOR PLAN
A2.2 SCALE: 3/8" = 1'-0" ←

Project Team:

Architect

UBIQUITOUS DESIGN, LTD.
ARCHITECTS
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Denver, CO 80231

David S. Edwards
Professional Engineer
No. 12103
State of Colorado
December 31, 2027

REPORT PREPARED BY: JES:LA
DATE: 02/18/2022

DESIGNED BY: JES:LA
DATE: 02/18/2022

PLATFORM 13
Premier Event Space

INTERIOR ALTERATION

2169 EAST 74th STREET
CLEVELAND, OH 44103

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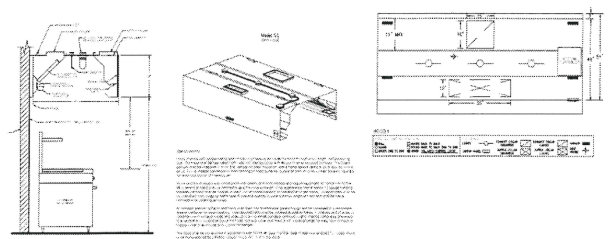
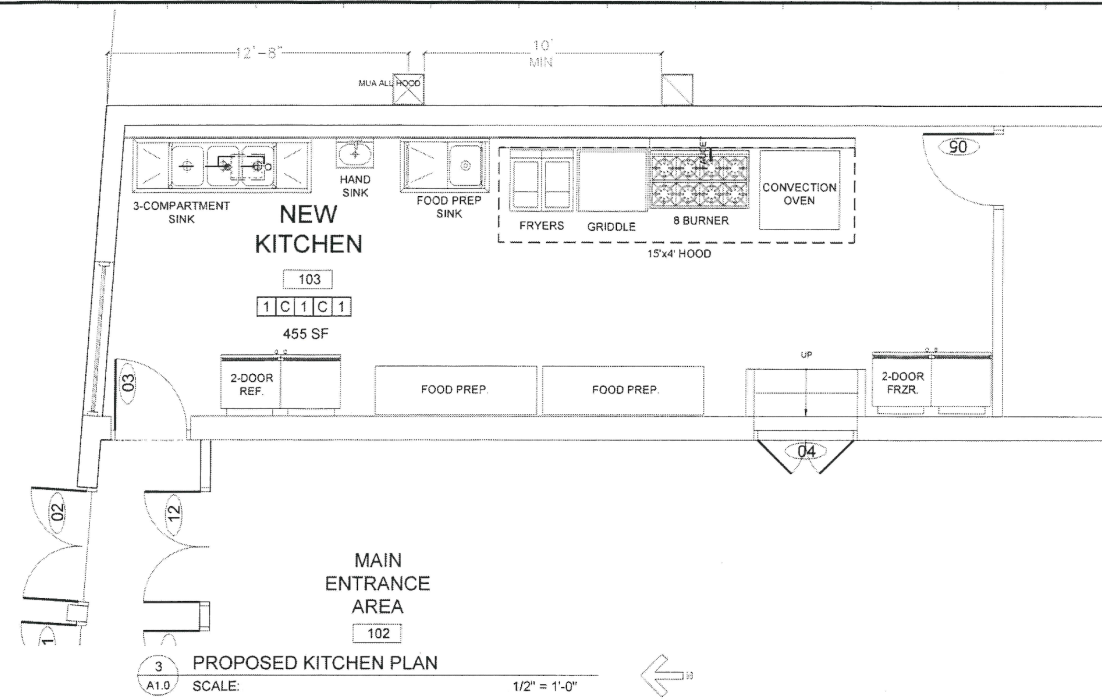
02/18/2022

A2.2

3. BOND LINE THIS DRAWING FOR ANY CHANGES TO THE MATERIALS AND EQUIPMENT FOR THIS PROJECT.
4. BOND LINE THIS DRAWING FOR ANY CHANGES TO THE MATERIALS AND EQUIPMENT FOR THIS PROJECT.

2. PROVIDE COMMENTS ON ANY CHANGES TO THE MATERIALS AND EQUIPMENT FOR THIS PROJECT.
3. PROVIDE COMMENTS ON ANY CHANGES TO THE MATERIALS AND EQUIPMENT FOR THIS PROJECT.

NOTES:
1. REFER TO GENERAL NOTES AND SPECIFICATIONS AND TO OTHER DRAWINGS IN THIS SET FOR ALL NOTES AND SPECIFICATIONS AND TO OTHER DRAWINGS IN THIS SET FOR ALL NOTES AND SPECIFICATIONS.



EXHAUST HOOD FAN SCHEDULE							
TYPE	CFM	MOTOR			RPM	MAKE	REMARKS
		HP	VOLT	PH			
DIRECT DRIVE ROOF FAN EF-1	3,500	1/2	115	2	1,800	DAYTON 4HZ53	WALL MOUNT
SUPPLY FAN SF-1	1,500	3/4	115	2	964	DAYTON 70506	WALL MOUNT

FAN/HOOD NOTES:

- 1.) VERIFY EQUIPMENT SPECIFIED WITH FAN AND HOOD MANUFACTURER AND QUADRANTATE WITH MECHANICAL CONTRACTOR
- 2.) USE EQUIPMENT SPECIFIED OR EQUAL
- 3.) MODEL NUMBERS GIVEN ARE FROM THE GRAINGER CATALOG

AIR BALANCE

MAKE-UP				OA	
UNIT	SA	CFM	CFM	CFM	CFM
MUA-1		2240	2240	2240	2240
EXIST. HVAC		3000	1200	3000	1200
TOTAL		5240	3440	5240	3440

REQUIRED OUTSIDE VENTILATION AIR
(OBMC 403.3) = 980 CFM

EXHAUST HOOD SPECIFICATIONS

- TYPE 1 HOOD REQUIREMENTS (HEAVY-DUTY COOKING APPLIANCES)
1. MATERIALS
HOOD SHALL BE CONSTRUCTED OF STAINLESS STEEL NOT LESS THAN 18 GA. IN THICKNESS
 2. SUPPORTS
THE HOOD SHALL BE SUPPORTED WITH 1/2" DIA. ALL-THREAD HANGER RODS IN SUFFICIENT QUANTITIES TO CARRY THE APPLIED LOAD OF THE HOOD. ANY UNSUPPORTED DUCTWORK, THE EFFLUENT LOADING AND THE LIVE LOAD OF ANY PERSONNEL WORKING IN OR ON THE HOOD.
 3. JOINTS, SEAMS AND PENETRATIONS
EXTERNAL JOINTS, SEAMS AND PENETRATIONS SHALL BE MADE WITH A CONTINUOUS LIQUID-TIGHT WELD TO THE LOWEST, OUTERMOST PERIMETER OF THE HOOD.
INTERNAL JOINTS, SEAMS AND PENETRATIONS, FILTER SUPPORTS FRAMES AND OTHER APPENDAGES ATTACHED INSIDE THE HOOD SHALL NOT BE REQUIRED TO BE WELDED OR BRAZED BUT SHALL BE OTHERWISE SEALED TO BE GREASE TIGHT.
 4. CLEANING AND GREASE CUTTER
THE HOOD SHALL BE PROVIDED WITH A GREASE CUTTER WHICH DRAINS TO AN APPROVED COLLECTION RECEPTACLE WHICH IS FABRICATED, DESIGNED AND INSTALLED TO ALLOW ACCESS FOR CLEANING.
 5. CLEARANCES
THE HOOD SHALL BE INSTALLED WITH A CLEARANCE OF NOT LESS THAN 18" TO COMBUSTIBLE MATERIALS.
 6. GREASE FILTERS
THE HOOD SHALL BE EQUIPPED WITH LISTED GREASE FILTERS DESIGNED FOR THE SPECIFIC PURPOSE. GREASE COLLECTING EQUIPMENT SHALL BE PROVIDED WITH ACCESS FOR CLEANING. THE LOWEST EDGE OF THE GREASE FILTER SHALL BE LOCATED NOT LESS THAN 5 FEET ABOVE COOKING SURFACES WITHOUT EXPOSED FLAMES AND 2 FEET FOR COOKING SURFACES WITH EXPOSED FLAMES AND BURNERS. FILTERS SHALL BE INSTALLED AT AN ANGLE OF NOT LESS THAN 45 DEGREES FROM THE HORIZONTAL AND SHALL BE EQUIPPED WITH A DRIP TRAY BENEATH THE LOWER EDGE OF THE FILTERS.
 7. CAPACITY OF HOOD
THE HOOD SHALL EXHAUST A MINIMUM OF 400 CFM PER LINEAL FOOT (WALL-MOUNTED CANOPY TYPE HOOD).
 8. PERFORMANCE TEST
A PERFORMANCE TEST SHALL BE CONDUCTED UPON COMPLETION AND BEFORE FINAL APPROVAL OF THE INSTALLATION OF THE VENTILATION SYSTEM. THE TEST SHALL VERIFY THE RATE OF REQUIRED EXHAUST AIRFLOW, REQUIRED MAKE-UP AIRFLOW AND PROPER OPERATION. THE PERMIT HOLDER SHALL FURNISH THE NECESSARY TEST EQUIPMENT AND DEVICES REQUIRED TO PERFORM THE TEST.
 9. CAPTURE AND CONTAINMENT TEST
THE PERMIT HOLDER SHALL CONDUCT A CAPTURE AND CONTAINMENT FIELD TEST WITH ALL APPLIANCES UNDER THE HOOD AT OPERATING TEMPERATURES TO VERIFY THE PERFORMANCE OF THE EXHAUST SYSTEM. CAPTURE AND CONTAINMENT SHALL BE VERIFIED BY VISUALLY OBSERVING SMOKE OR STEAM PRODUCED BY ACTUAL OR SIMULATED COOKING.
 10. FIRE SUPPRESSION
THE HOOD SHALL BE PROVIDED WITH AN APPROVED AUTOMATIC FIRE SUPPRESSION SYSTEM. COMPLIING WITH BUILDING AND INTERNATIONAL FIRE CODES. THE FIRE SUPPRESSION CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND ALL PERTINENT DETAILS FOR APPROVAL.
- MAKEUP AIR
11. MAKEUP AIR SHALL BE PROVIDED BY MECHANICAL MEANS DURING THE OPERATION OF THE KITCHEN EXHAUST SYSTEM FOR COOKING APPLIANCES. THE EXHAUST AND MAKEUP AIR SYSTEMS SHALL BE ELECTRICALLY INTERLOCKED TO INSURE THAT MAKEUP AIR IS PROVIDED WHENEVER THE EXHAUST SYSTEM IS IN OPERATION.
 12. MAKEUP AIR TEMPERATURE
THE TEMPERATURE DIFFERENCE BETWEEN MAKEUP AIR AND THE AIR IN THE CONDITIONED SPACE SHALL NOT EXCEED 10 DEGREES F.
- GREASE DUCTS SERVING TYPE 1 HOODS
13. TYPE 1 EXHAUST DUCTS SHALL BE INDEPENDENT OF ALL OTHER EXHAUST SYSTEMS.
 14. DUCT MATERIALS
GREASE DUCTS SHALL BE CONSTRUCTED OF STEEL NOT LESS THAN 18 GAUGE THICKNESS. MAKEUP AIR DUCTS WITHIN 18 INCHES OF A TYPE 1 HOOD SHALL BE NONCOMBUSTIBLE OR SHALL BE LISTED FOR THE APPLICATION.
 15. JOINTS, SEAMS AND PENETRATIONS OF GREASE DUCTS
JOINTS, SEAMS AND PENETRATIONS OF GREASE DUCTS SHALL BE MADE WITH A CONTINUOUS LIQUID-TIGHT WELD OR BRAZE MADE ON THE EXTERNAL SURFACE OF THE DUCT SYSTEM.
 16. DUCT JOINT TYPES
DUCT JOINTS SHALL BE BUTT JOINTS OR OVERLAPPING DUCT JOINTS OF EITHER THE TELESCOPING OR BELLY TYPE. THE DIFFERENCE BETWEEN THE INSIDE CROSS-SECTIONAL DIMENSIONS OF OVERLAPPING SECTIONS OF DUCT SHALL NOT EXCEED 0.25 INCH. THE LENGTH OF OVERLAP FOR OVERLAPPING DUCT JOINTS SHALL NOT EXCEED 2 INCHES.
 17. DUCT-TO-HOOD JOINTS
DUCT-TO-HOOD JOINTS SHALL BE MADE WITH A CONTINUOUS INTERNAL OR EXTERNAL LIQUID-TIGHT WELDED OR BRAZED JOINT. SUCH JOINTS SHALL BE SMOOTH, ACCESSIBLE FOR INSPECTION AND WITHOUT GREASE TRAPS.
 18. DUCT-TO-EXHAUST FAN CONNECTIONS
DUCT-TO-EXHAUST FAN CONNECTIONS SHALL BE FLANGED AND GASKETED AT THE BASE OF THE FAN FOR VERTICAL DISCHARGE FANS.
 19. VIBRATION ISOLATION
A VIBRATION ISOLATION CONNECTOR FOR CONNECTING A DUCT TO A FAN SHALL CONSIST OF NONCOMBUSTIBLE PACKING IN A METAL SLEEVE JOINT OF APPROVED DESIGN OR SHALL BE A COATED FIBRIC FLEXIBLE DUCT CONNECTOR LISTED AND LABELED FOR THE APPLICATION. VIBRATION ISOLATION CONNECTORS SHALL BE INSTALLED ONLY AT THE CONNECTION OF A DUCT TO A FAN INLET.



Project Team:

Architect

UBIQUITOUS DESIGN, LTD.
ARCHITECTS
11111 RIVERSIDE DRIVE, SUITE 100
CLEVELAND, OH 44130
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WWW.UBIQUITOUSDESIGN.COM



W. Daniel S. Lerner, No. 12058
Expiration Date: December 31, 2021

PLATFORM 13
Premier Event Space

INTERIOR ALTERATION

2169 EAST 74th STREET
CLEVELAND, OH 44103

020.020 0210 up (10)

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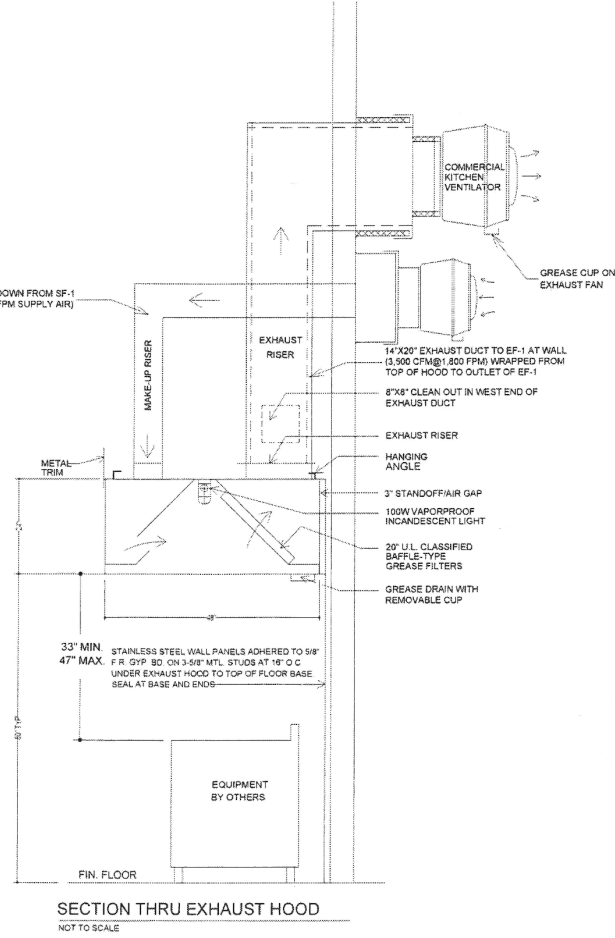
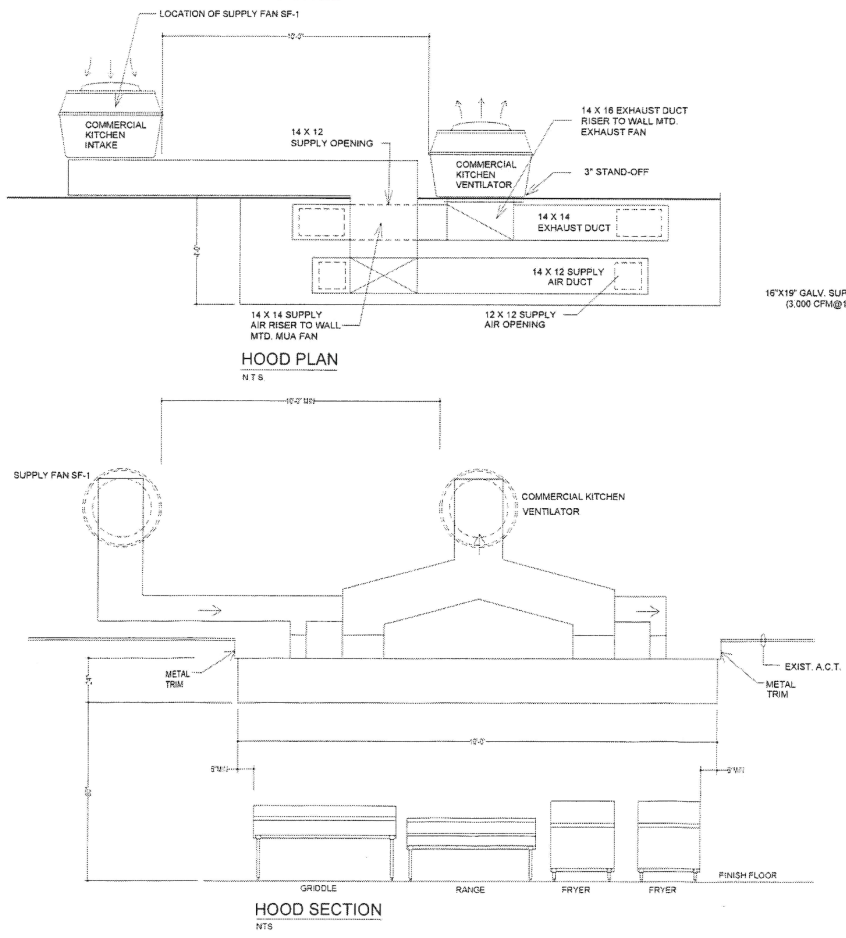
NEW KITCHEN EXHAUST HOOD

H1.0
01.31.2022

NOTES:

1. REFER TO EXISTING, NOTES AND SPECIFICATIONS AND EXISTING DRAWINGS IN THIS SET OF PLANS FOR CROSS REFERENCES AND SUPPLEMENTARY INFORMATION.

2. PRIOR TO COMMENCING ANY CONSTRUCTION, OR ORDERING EQUIPMENT, MATERIALS AND EQUIPMENT FOR THIS PROJECT, CHECK EXISTING CONDITIONS AND HAZARDOUS MATERIALS, AND VERIFY DATA AND ASSUMPTIONS ON THIS DRAWING.



Project Team:

Architect
UBIQUITOUS DESIGN, LTD.
ARCHITECTS
11111 E. 12TH AVE. SUITE 100
DENVER, CO 80231
303.733.1111



W. David Stoker
Civil Engineer
No. 12438
Exp. Date: December 31, 2025

REVIEWED: JAMES H. J. 11/11/22
BY: J. H. J.

PLATFORM 13
Premier Event Space

INTERIOR ALTERATION

2169 EAST 74th STREET
CLEVELAND, OH 44103

02/03/2022

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X
DATE: 03/11/22
BY: J. H. J.

NEW KITCHEN EXHAUST HOOD

01.31.2022 **H2.0**

Public Hearing

Calendar No. 23-056:

3608 East 118th Street.

Ward 2



Anthony Dial, propose to establish use as a Residential Facility for five occupants in a B1 Two-Family Residential District. The owner appeals for relief from the strict application of the following sections of the Cleveland Codified Ordinances:

1. Section 325.571 which states that "Residential facility" means a publicly or privately operated home of facility, licensed pursuant to state law, that provides accommodations, supervision, and personal care services to any of the following: (a) one (1) or two (2) unrelated persons with mental illness; (b) one (1) or two (2) unrelated adults who are receiving residential state supplement payments as defined in the Ohio Revised Code; or (c) three (3) to sixteen (16) unrelated adults.
2. Section 337.03(h) which states that a Residential Facility, for one (1) to five (5) unrelated persons, is not permitted if located less than one thousand (1,000) feet from another residential facility. Proposed Residential Facility use is within one thousand (1,000) feet from another Residential Facility at 3529 East 118th St.



Public Hearing

Calendar No. 23-056:

3608 East 118th Street.

Ward 2



SWEARING IN ALL WHO ARE PRESENT FOR THIS CASE:

DO YOU SWEAR OR AFFIRM THAT THE TESTIMONY YOU ARE ABOUT TO GIVE
IS THE WHOLE TRUTH AND NOTHING BUT THE TRUTH?

Please Raise Your Hand.
Reply with I DO, YOUR NAME and YOUR ADDRESS.

Public Hearing

Calendar No. 23-056:

3608 East 118th Street.

Ward 2



HISTORY OF THE PROPERTY





LEGAL STANDARD

Madam Chair, Members of the Board, Appellant is requesting a use variance and an area variance from the minimum distance requirements of the zoning code.

To obtain the use variance, Appellant must prove that denying the request:

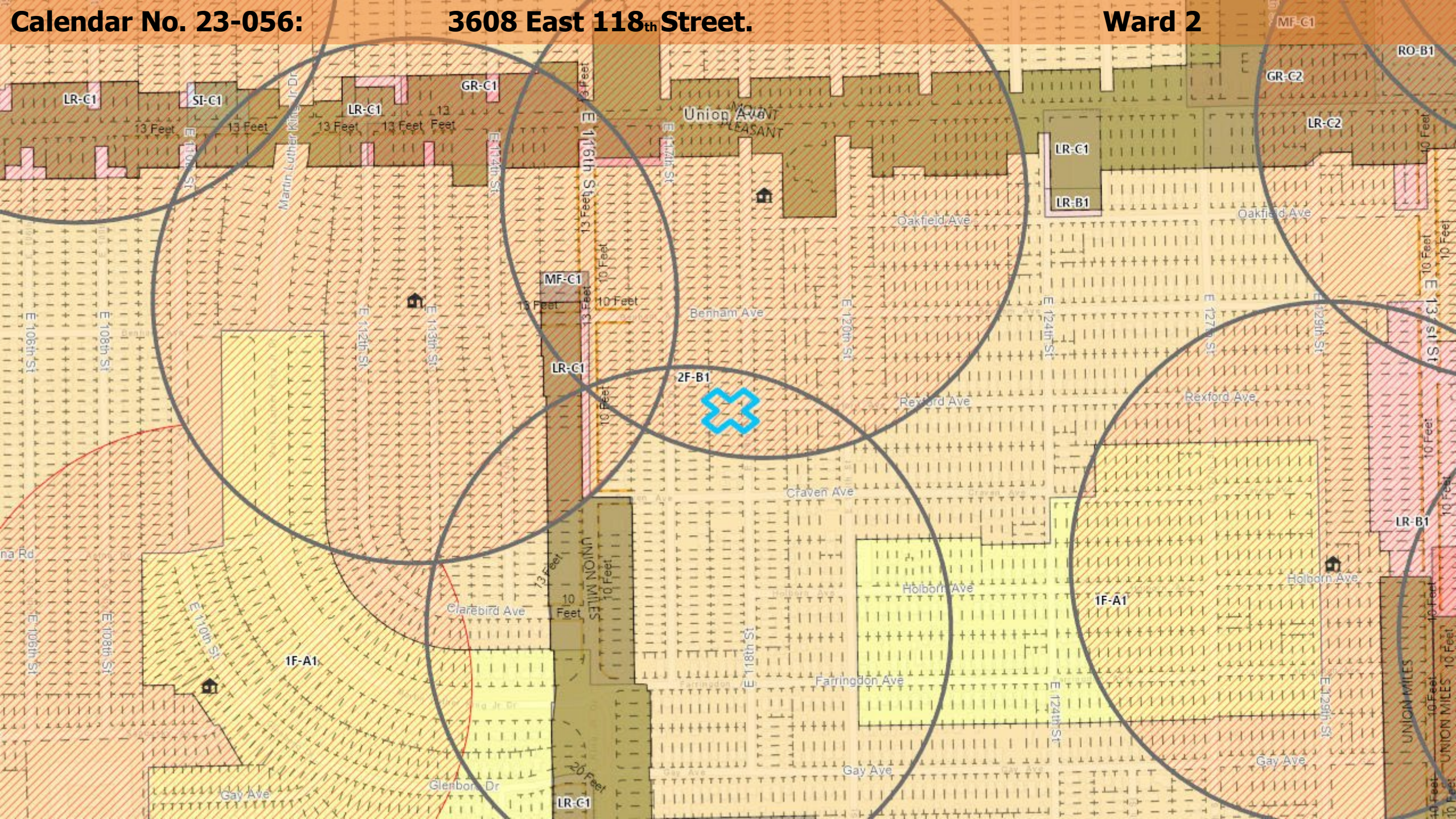
1. Will result in an **unnecessary hardship** particular to the property such that there will be no economically feasible use of the property without the variance;
2. Will deprive the Appellant of substantial property rights; and
3. That granting the variance will not be contrary to the purpose and intent of the zoning code.

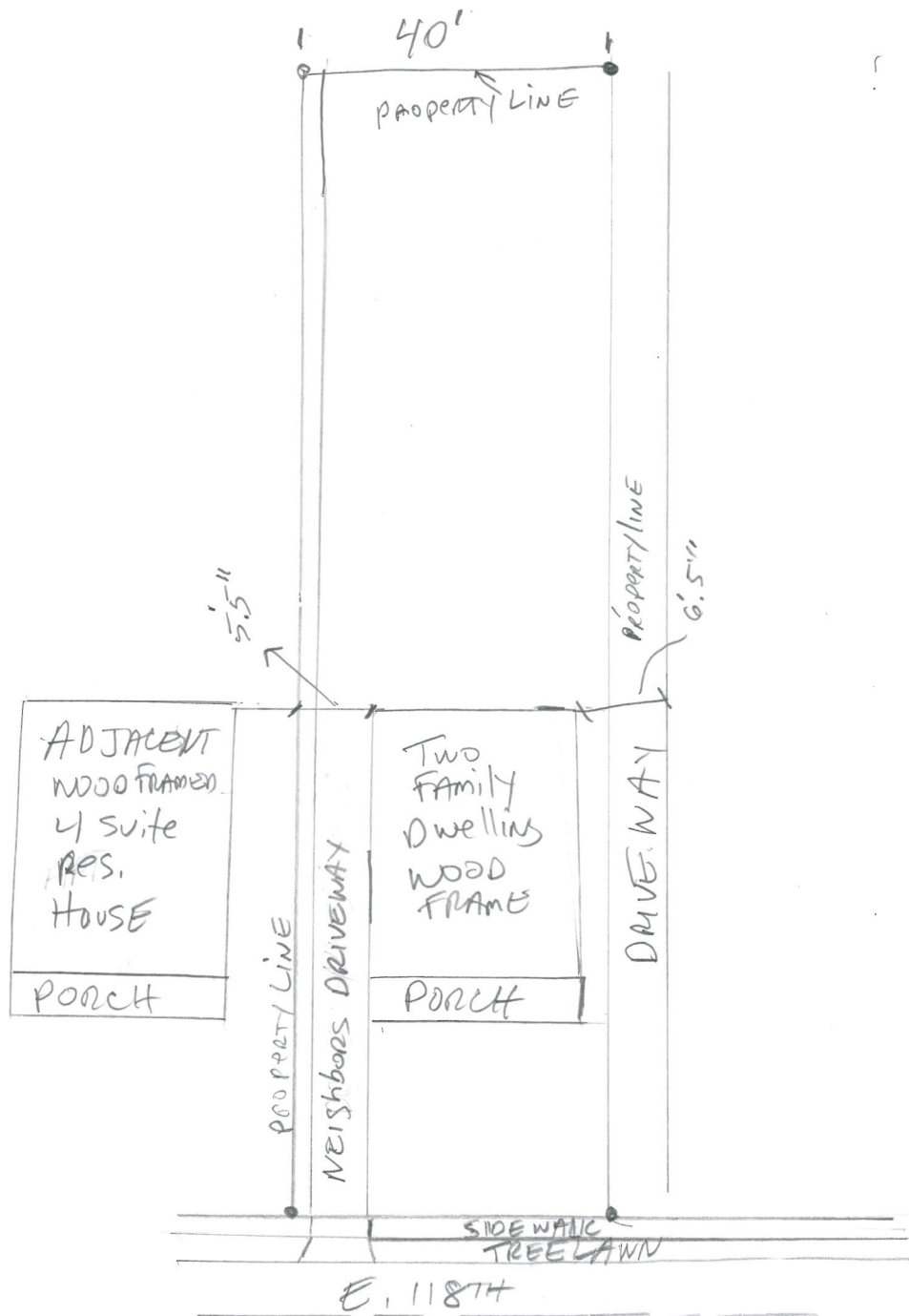
To obtain the area variance, Appellant must prove that denying the request:

1. Will create a **practical difficulty** not generally shared by other land or buildings in the same district;
2. Will deprive the Appellant of substantial property rights; and
3. That granting the variance will not be contrary to the purpose and intent of the zoning code.



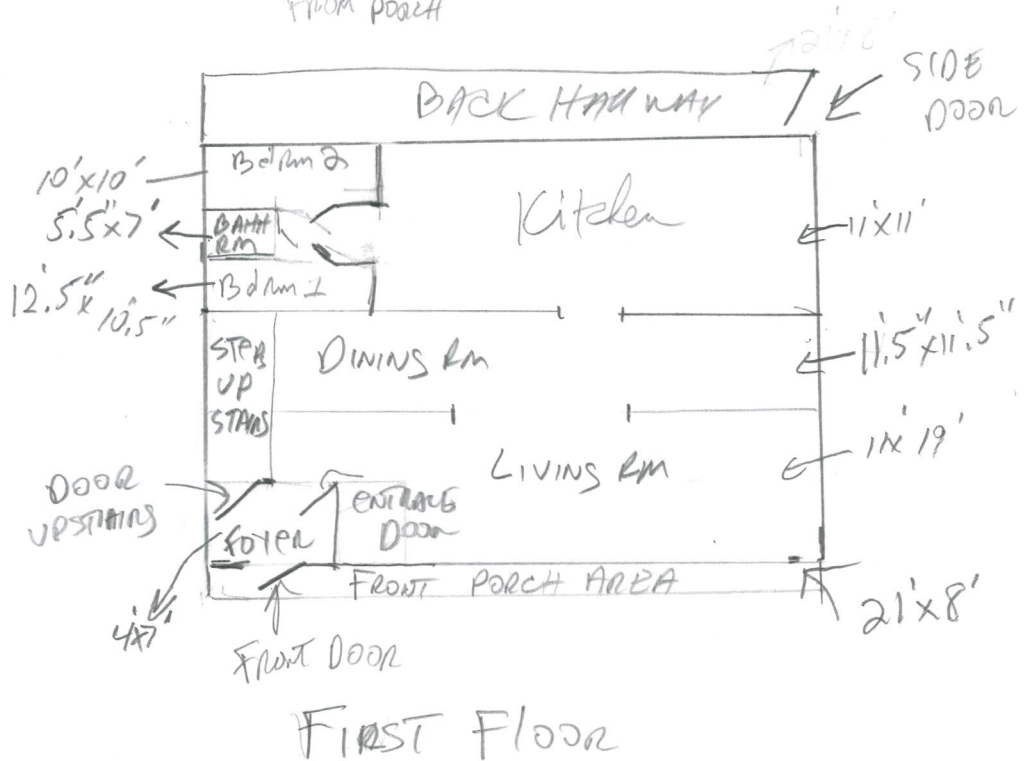
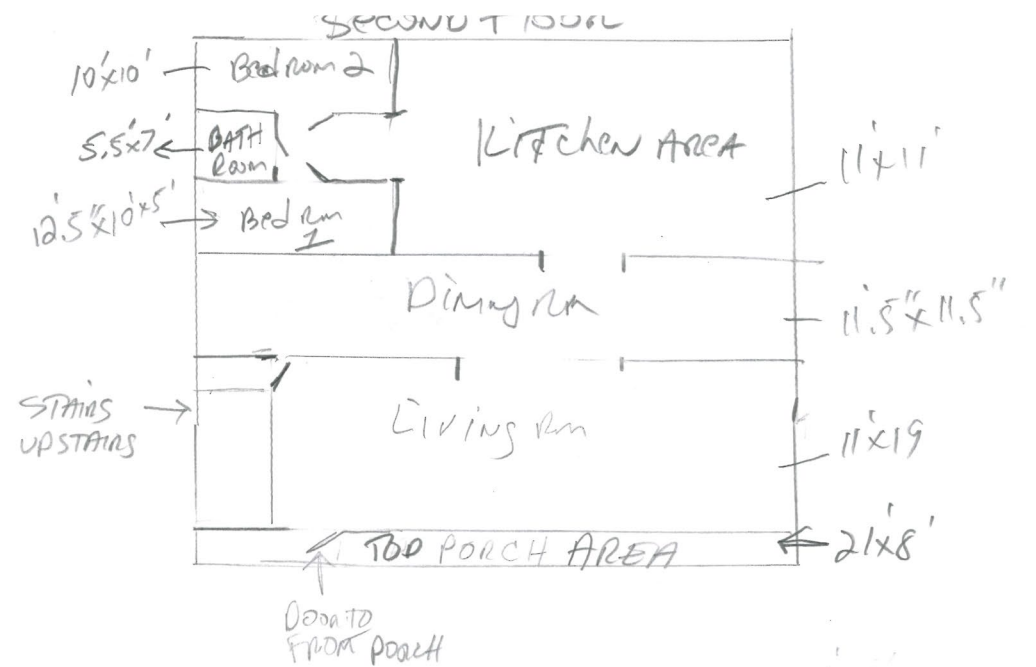






96-5-148

BZA 23-56



Public Hearing

Calendar No. 23-059:

15009 Puritas Ave.

Ward 16



ASAM LLC, proposes to erect an addition to expand the existing gas station and convenience store on a parcel of land located in a G2 Local Retail Zoning District. The owner appeals for relief from the strict application of the following sections of the Cleveland Codified Ordinances:

1. Sections 352.08 through 352.10 which state that an 8-foot wide transition strip is required at the rear where 5 feet are proposed.
2. Section 359.01(a) which states that expansion of a nonconforming use requires Board of Zoning Appeals approval.

*Note: City Planning Commission approval is required



Public Hearing

Calendar No. 23-059:

15009 Puritas Ave.

Ward 16



SWEARING IN ALL WHO ARE PRESENT FOR THIS CASE:

DO YOU SWEAR OR AFFIRM THAT THE TESTIMONY YOU ARE ABOUT TO GIVE
IS THE WHOLE TRUTH AND NOTHING BUT THE TRUTH?

Please Raise Your Hand.
Reply with I DO, YOUR NAME and YOUR ADDRESS.



HISTORY OF THE PROPERTY





LEGAL STANDARD

Madam Chair, Members of the Board, Appellant is requesting a use variance and an area variance from the transition strip requirements of the zoning code.

To obtain the use variance, Appellant must prove that denying the request:

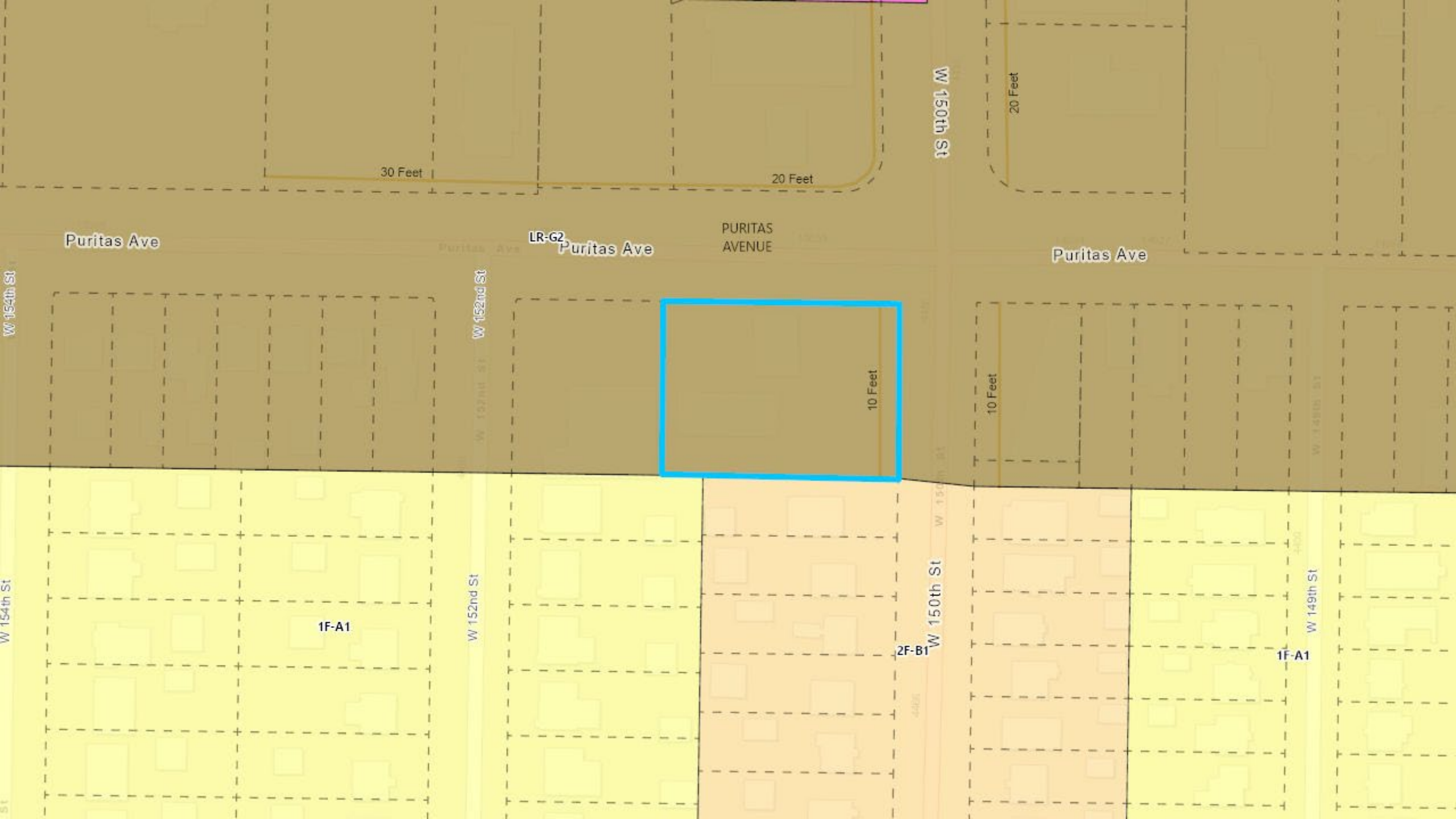
1. Will result in an **unnecessary hardship** particular to the property such that there will be no economically feasible use of the property without the variance;
2. Will deprive the Appellant of substantial property rights; and
3. That granting the variance will not be contrary to the purpose and intent of the zoning code.

To obtain the area variance, Appellant must prove that denying the request:

1. Will create a **practical difficulty** not generally shared by other land or buildings in the same district;
2. Will deprive the Appellant of substantial property rights; and
3. That granting the variance will not be contrary to the purpose and intent of the zoning code.







Puritas Ave

LR-G2

Puritas Ave

PURITAS
AVENUE

Puritas Ave

W 150th St

20 Feet

30 Feet

20 Feet

W 152nd St

10 Feet

10 Feet

1F-A1

W 152nd St

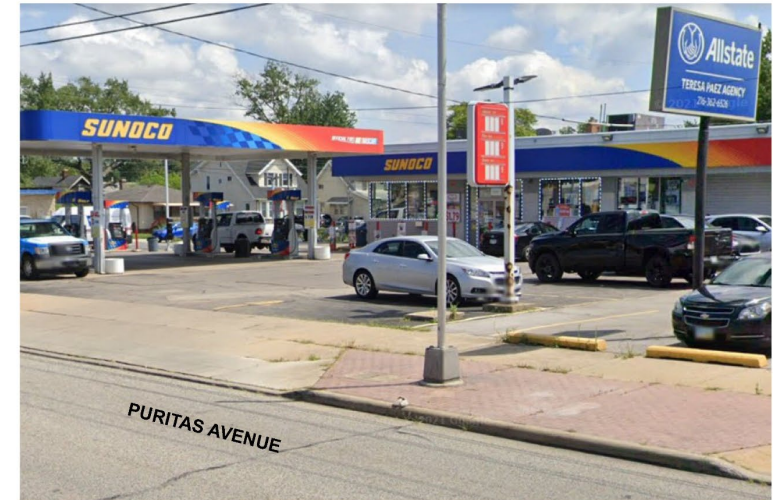
2F-B1


W 150th St

1F-A1

W 149th St

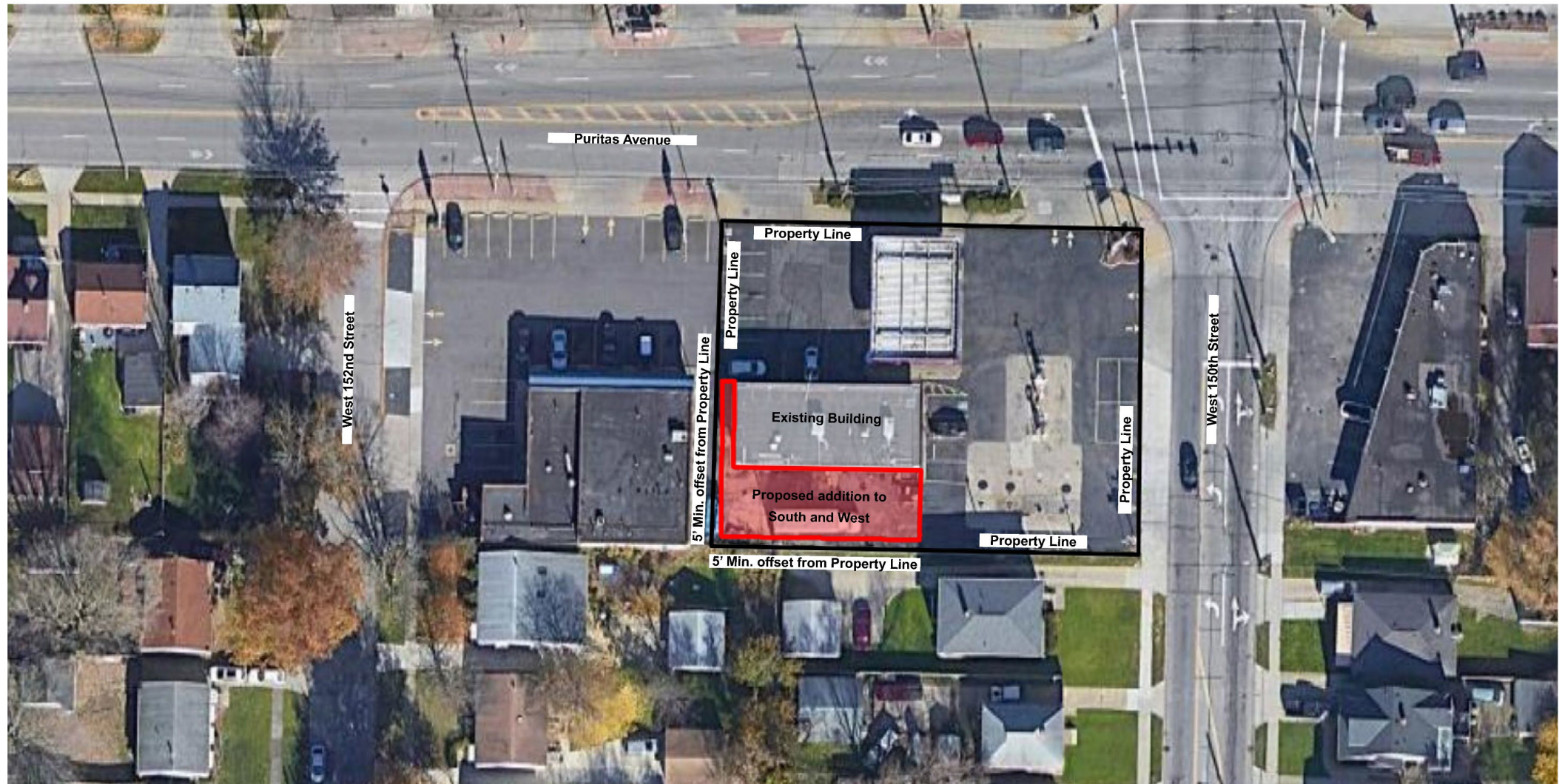
Speedy
15009 Puritas Avenue- Site Location




 **Site Location Plan**
Scale: Not to Scale

Speedy

15009 Puritas Avenue- Proposed Building Addition

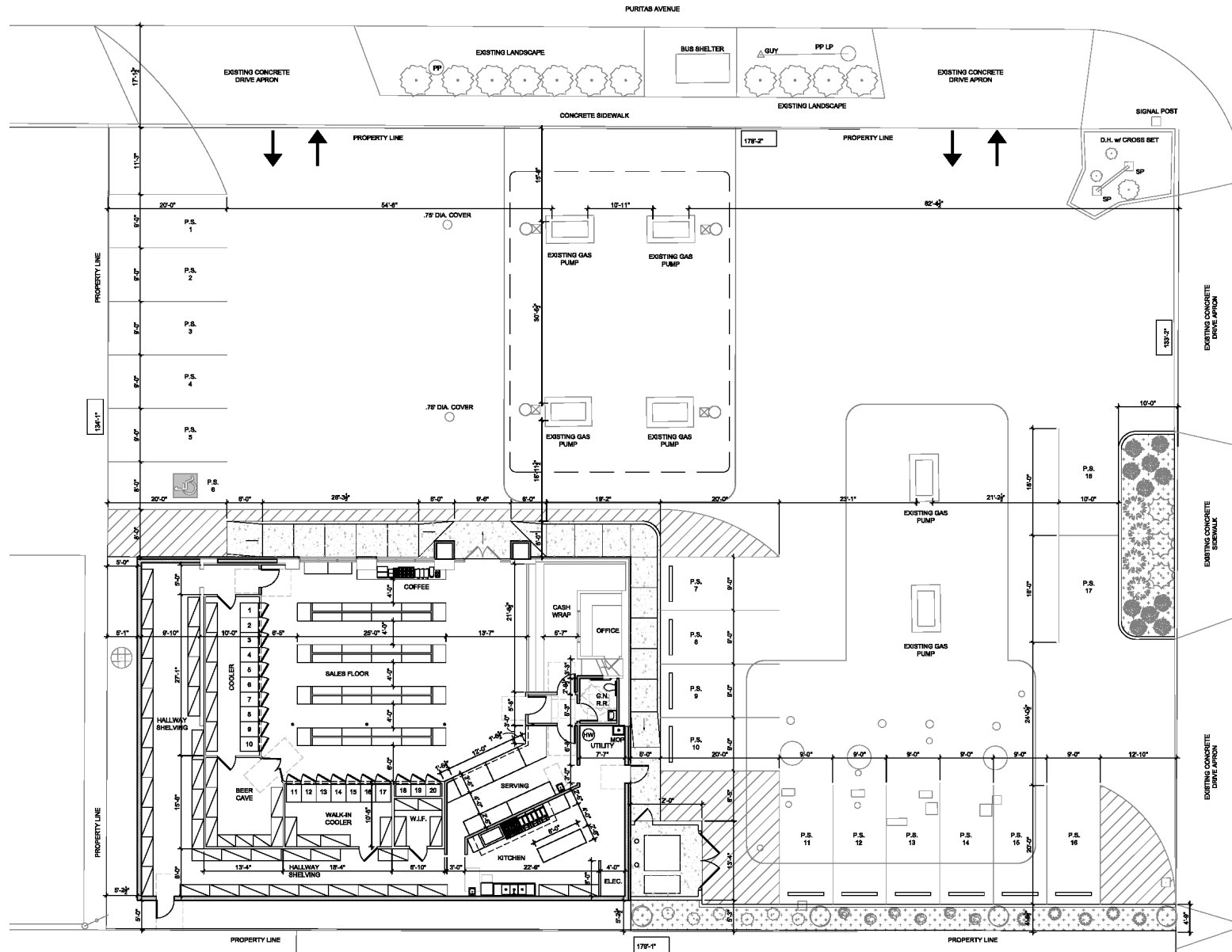


 **Site Location Plan**
Scale: Not to Scale

Speedy

15009 Puritas Avenue- Existing Conditions





1 SITE PLAN
AS1.00 1/8" = 1'-0"

AS1.00
SITE PLAN







04/08/2023

To Board of Zoning Appeals.

My house is right next to the gas station. I always have to clean trash that comes from the gas station in my front yard and constantly picking up garbage every time see it piled by the fence (beer bottles, plastic bottles, cigarettes cartons). There are trees branches growing in my driveway they belong to the gas station owner never bothered to cut or trim those trees.

When they plowed the snow, they pushed against my driveway, one time they block my driveway with the snow, I went to asked one of his employees she said ask the owner I have no answer for you. The fence between the gas station and my house looks horrible it is leaning toward my property, makes my house value down. Also, the noise I receive from the gas station is bad, with the expand of the gas station will be worse, more noise more trash I have to clean, more work for myself.

The owner does not care about neighbor neither to keep it clean around his building, but he cares about himself and expanding his business.

I will enclose pictures in my Email.

I will be the first homeowner get affected badly from this extension because I am right next to his business. I am strongly disagreeing with this expanding that will effect my property value.

I am asking the city of Cleveland to support me to disagree with this extension. Thank you for your cooperation.

Adel Salama

From: Saiby Salama

Subject: Disagreeing with this expanding for gas station calendar no. 23-059 15009
Puritas ave

04/08/2023

To Board of Zoning Appeals.

My house is right next to the gas station. I always have to clean trash that comes from the gas station in my front yard and constantly picking up garbage every time see it piled by the fence (beer bottles, plastic bottles, cigarettes cartons). There are trees branches growing in my driveway they belong to the gas station owner never bothered to cut or trim those trees.

When they plowed the snow, they pushed against my driveway, one time they block my driveway with the snow, I went to asked one of his employees she said ask the owner I have no answer for you.

The fence between the gas station and my house looks horrible it is leaning toward my property, makes my house value down. Also, the noise I receive from the gas station is bad, with the expand of the gas station will be worse, more noise more trash I have to clean, more work for myself.

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I am asking the city of Cleveland to support me to disagree with this extension. Thank you for your cooperation.

Public Hearing

Calendar No. 23-029:

11725 Lorain Avenue.

Ward 11

Yassen Corp LLC, owner, proposes to change of use from store to assembly hall in a C1 Local Retail Zoning District. The owner appeals for relief from the strict application of the following sections of the Cleveland Codified Ordinances

1. Section 343.01 which states that Entertainment/Assembly is not permitted in Local Retail District but first permitted in Gen. Retail District (343.11(L)).
2. Section 349.04(e) which states that 18 parking spaces are required and none proposed.



Public Hearing

Calendar No. 23-029:

11725 Lorain Avenue.

Ward 11



SWEARING IN ALL WHO ARE PRESENT FOR THIS CASE:

DO YOU SWEAR OR AFFIRM THAT THE TESTIMONY YOU ARE ABOUT TO GIVE
IS THE WHOLE TRUTH AND NOTHING BUT THE TRUTH?

Please Raise Your Hand.
Reply with I DO, YOUR NAME and YOUR ADDRESS.



HISTORY OF THE PROPERTY





LEGAL STANDARD

Madam Chair, Members of the Board, Appellant is requesting a use variance from the requirements of the zoning code.

To obtain the use variance, Appellant must prove that denying the request:

1. Will result in an **unnecessary hardship** particular to the property such that there will be no economically feasible use of the property without the variance;
2. Will deprive the Appellant of substantial property rights; and
3. That granting the variance will not be contrary to the purpose and intent of the zoning code.

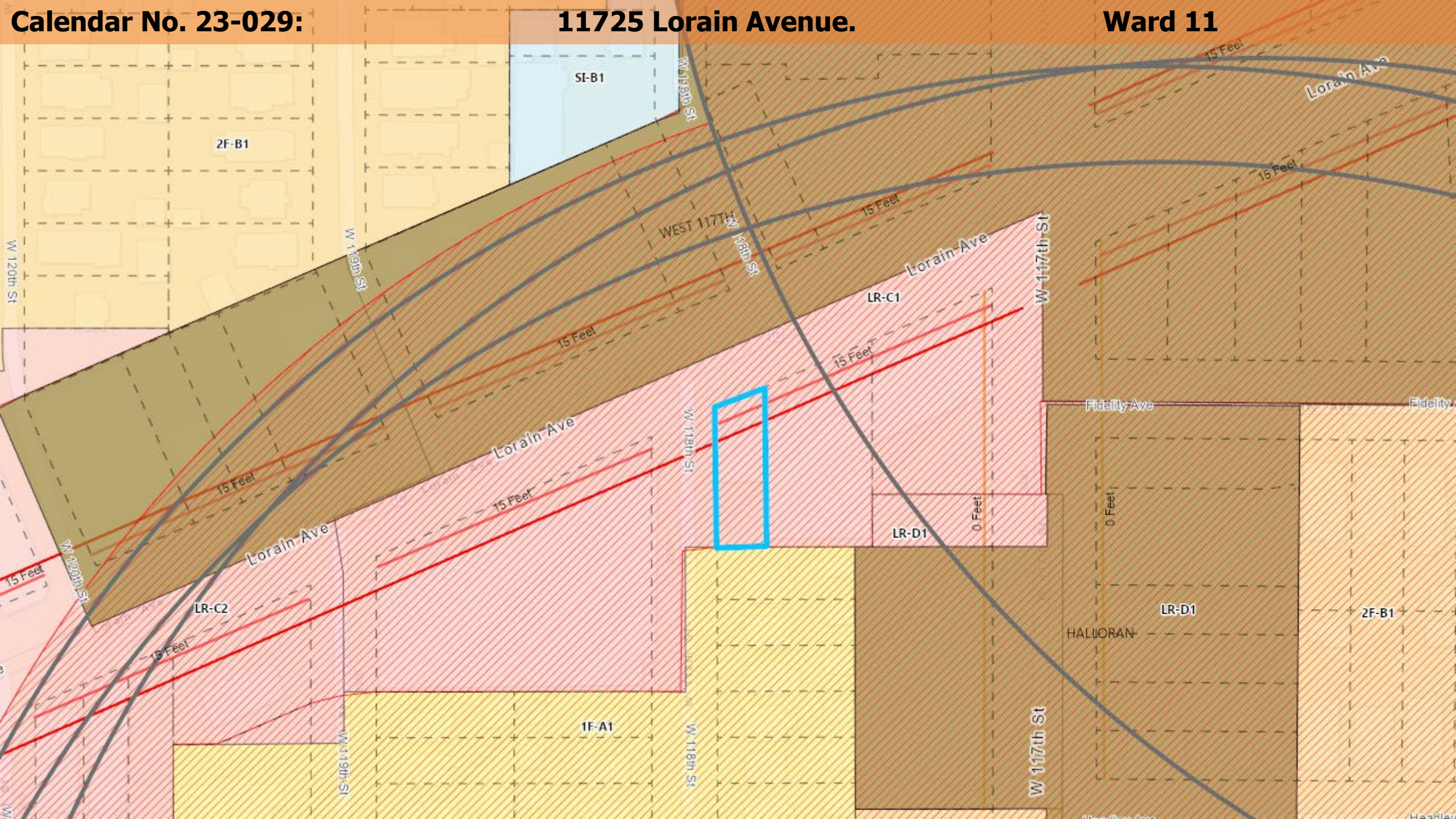


Calendar No. 23-029:

11725 Lorain Avenue.

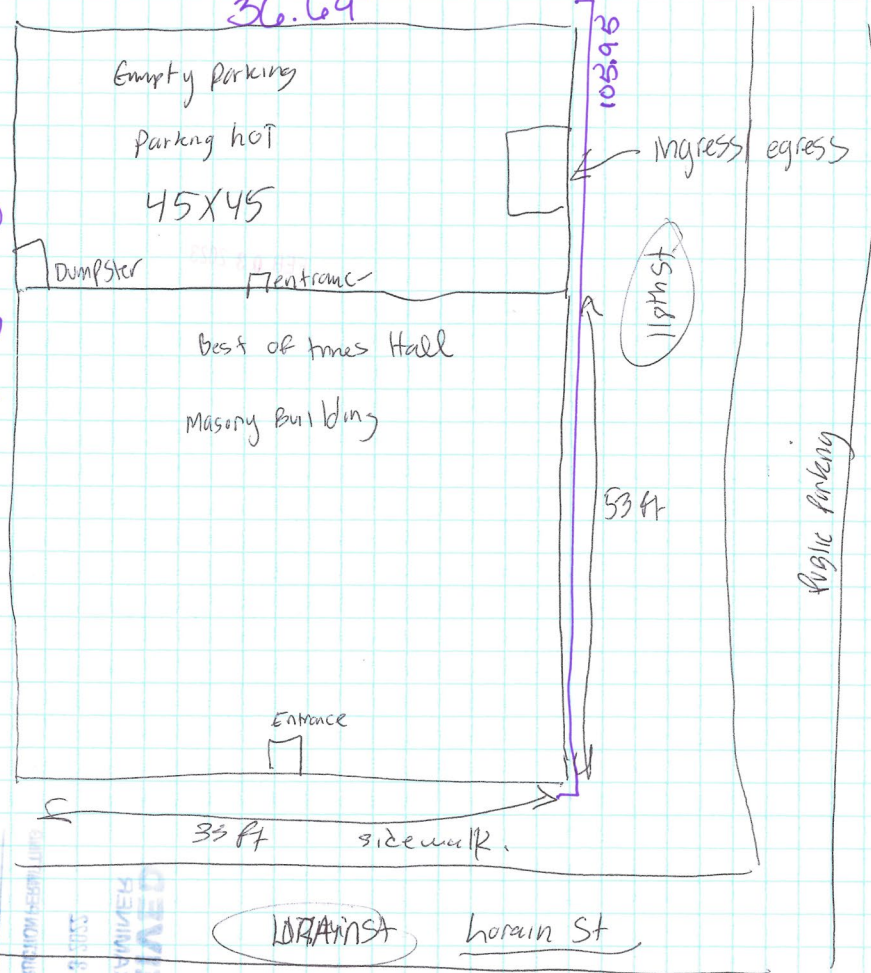
Ward 11





11725 Lorain Rd
Cleveland OH 44111
36.69'

Connected/Neighboring Bldg.



B2A23-029

195 parking spaces for
public use

objection

Board of Zoning Appeals

From: Noreen Colegrove <danno91@sbcglobal.net>
Sent: Sunday, April 02, 2023 1:58 PM
To: Board of Zoning Appeals
Subject: 11725 lorain ave

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Dear Sirs: I am Noreen Colegrove and I live at 3376 w 118st. I would like to inform you about the re-zoning of 11725 lorain ave. today is 4/2 and they are having a event there today... I thought that they were not zoned for this!!! We are so against this because of the garbage left on the street and the noise. also the parking on the street.. The police were out after an event they had here on a Saturday..Just too much trouble.. our street is a quiet street and We want to keep it that way thank you

Cleveland Board of Zoning Appeals

Old Business



Public Hearing



Cleveland Board of Zoning Appeals

Adjournment

